

Memo

To: Zoning Board Chairperson McGinley and Secretary Miesch
From: Plan Review Committee of the Verona Environmental Commission
c: Verona Environmental Commission Chair
Date: May 1, 2026
Re: **Case # 2026-10**
257 Pompton Avenue [Block 104, Lot 1]
Verona, New Jersey
Zone: C-2 (Professional Office and Business)

The Plan Review Committee of the Verona Environmental Commission (VEC) reviewed the application for 257 Pompton Avenue in Verona submitted by Mr. Brian Aloia, which we received on April 22, 2026. Due to the Use variance, and others required, this application will be heard by the Zoning Board of Adjustment. The comments below are provided for the Board's consideration:

- 1) The Applicant had filed an application for Mixed Use last April 2025 and in doing so had also proposed the removal of more than two trees. The VEC does not know whether any tree removal had commenced prior to changing in application this year. If any trees were removed in preparation for the Applicant's past application, those tree removals should require mitigation.
- 2) A properly registered and Licensed Tree Expert (LTE) should be engaged to prepare the Tree Removal and Replacement Plan with their license number documented on the Tree Removal and Replacement Application.
- 3) We further find that there is no qualified individual listed on the tree removal plan set as having conducted the tree assessments, which should include measurements of diameters at point of measure (DPM) and an overall evaluation of tree health. Mr. Helb is not listed as an LTE by the New Jersey Board of Tree Experts. We recommend that the tree assessment be reviewed onsite by Verona's Forester. We therefore recommend that as any condition of approval, the number of required replacement trees be dependent upon DPM measurements taken by Verona's Forester, which may result in a different total of trees that required for replanting.
- 4) The tree replacement plan is lacking in detail as to the number of, the species of and placement of each type of tree in the areas planned for planting; the buffer area and bioretention (stormwater management) area. The planting plan should be appropriately labeled with placement details of each tree, shrub, and plant to be planted, as well as dimensions of those planned areas. According to §150-11.2 E(b):

The plans shall specify all planted areas and planted buffer areas, if required, and the dimensions of each of said areas. The plan shall specify the total number of square feet of any planted area (not including buffer area), the total number of square feet of any required planted buffer area, the combined total area in square feet, if applicable, and the

percentage figures of planted areas and buffer areas of the sum of the two and of the total site area.

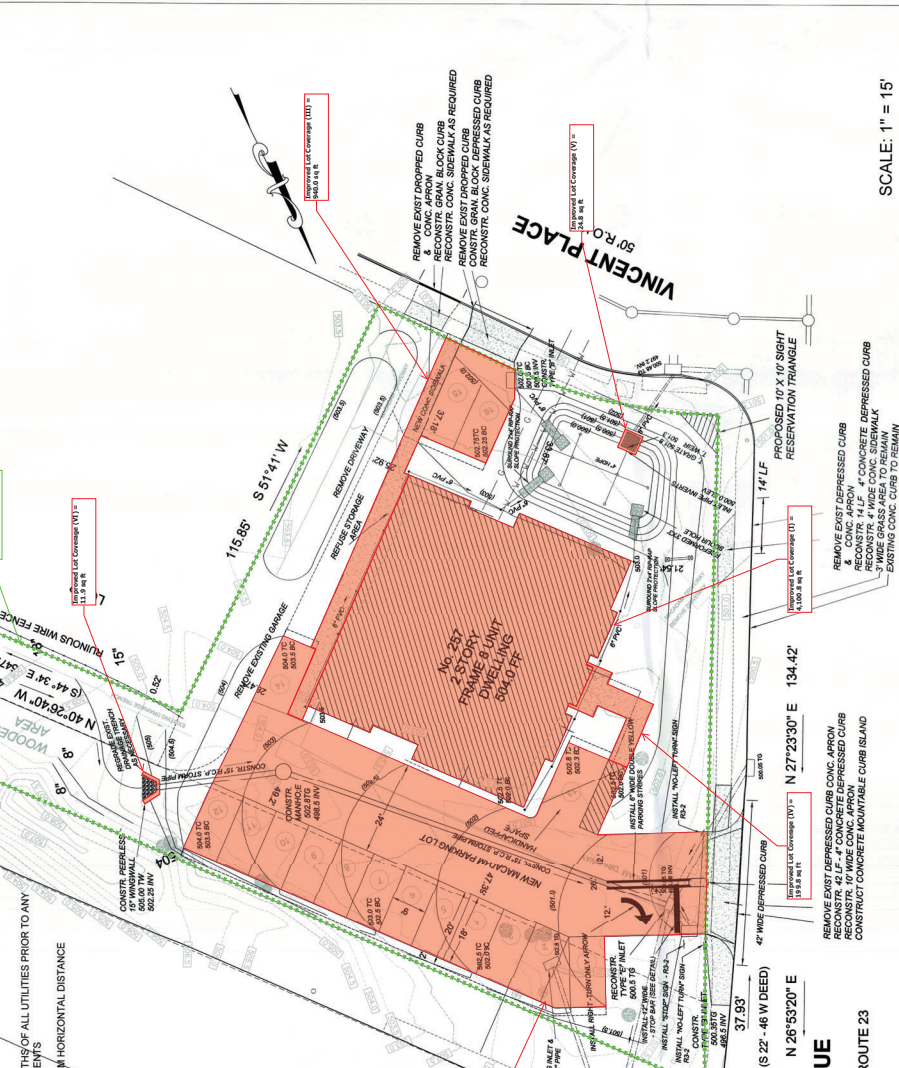
- 5) *Euonymus alatus*, winged euonymus or “burning bush” is listed as an invasive species by the [NJDEP](#). This species should be replaced on the proposed planting list. This comment was made on the last application as well, which the Engineer recognized during the May 5, 2025 hearing. Nevertheless, the Engineer relisted this invasive species on the new of plans for planting. For replacement plantings, like native Black or Red Chokeberry shrubs, please refer to Verona’s [Recommended Planting List](#), as adopted in February of 2025.
- 6) It appears that the biobasin is primarily designed to take stormwater intercepted by the roofing system as well as some parking area adjacent to Vincent Place. However, the drainage area conveyed to the biobasin is not documented. It is not clear whether the biobasin is appropriately sized for the increase in coverage proposed by the development. The dimensions of the basin are not shown on the plans.

Regardless of the overall increase in impervious coverage at the site, the plans indicate that the biobasin will handle 3,689 ft² of impervious coverage. However, the total impervious coverage for the site is approximately 11,003 ft² and there are no details in the application about how stormwater will be managed at the site as a whole, given the expansion of the parking lot west of the building by an additional 34 feet to the west.

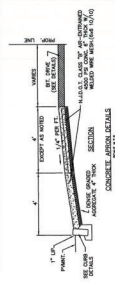
- 7) There are no design attempts made to manage infiltration of stormwater runoff onsite from the larger parking area off Pompton Ave, west of the proposed building. Instead, the proposed parking lot grades directs sheet flow runoff to catch basins near the driveway entrance, which is conveyed directly into the public drain lines, or sheet flow runoff directly over the driveway apron to the gutter of Pompton Avenue.
- 8) Based on the BIOBASIN PLAN drawing the final surface for the biobasin slope is called out as a filter fabric. Is there any intent to seed the slope or is the black/gray filter fabric going to be the final surface cover? Will the filter fabric be anchored at the top of the biobasin slopes? How will that area be finished?
- 9) The Drainage Pipe Trench Detail on the SITE PLAN drawing details ¾-inch crushed stone pipe bedding surrounding the pipe. A filter fabric (such as the Mirafi 140N geotextile) should envelop the crushed stone pipe bedding, otherwise fines from surrounding soils will migrate into voids of bedding causing settlement of ground surface above.

NOTE: CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES PRIOR TO ANY EXCAVATION AND RELOCATE SAME AS REQUIRED FOR SITE IMPROVEMENTS. CONNECT ALL UNDERGROUND UTILITIES TO STREET CONNECTIONS. WATER & SANITARY SEWER LATERAL TO BE SEPARATED BY 12" MINIMUM HORIZONTAL DISTANCE.

As per (based on) Agreement
 Existing Improved Lot Coverage = 21.64% (based on reference)
 Existing Improved Lot Coverage = 4.10% (0.17' x 278.01' = 46.00 sq. ft. / 1,120.00 sq. ft. = 4.10%)
 Proposed Improved Lot Coverage = 41.00% (1.70' x 248.01' = 421.62 sq. ft. / 1,028.00 sq. ft. = 41.00%)
 Difference: 19.36%
 The contractor shall be responsible for the removal of all existing structures, foundations, and other improvements on the site and for the construction of all new structures, foundations, and other improvements on the site. The contractor shall be responsible for the removal of all existing structures, foundations, and other improvements on the site and for the construction of all new structures, foundations, and other improvements on the site. The contractor shall be responsible for the removal of all existing structures, foundations, and other improvements on the site and for the construction of all new structures, foundations, and other improvements on the site.



SCALE: 1" = 15'



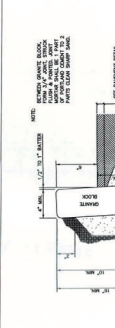
SECTION
 CONCRETE CURB AND SIDEWALK



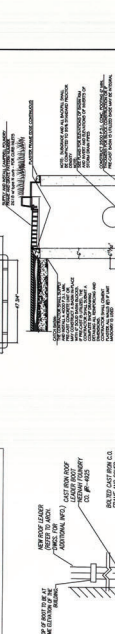
SECTION
 GRANITE BLOCK CURB



SECTION
 DEPRESSED CURB



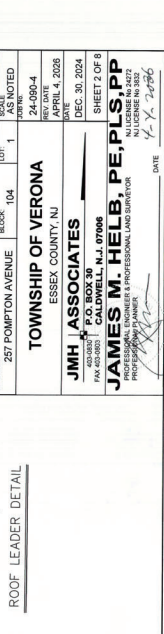
SECTION
 ROOF LEADER DETAIL



SECTION
 STORM MANHOLE DETAIL



SECTION
 TYPICAL CURB TYPE INLET DETAIL



SECTION
 CURB DETAIL

SITE PLAN	
PROJECT: 257 POMPTON AVENUE, BLOCK 104, LOT 1	DATE: AS NOTED
TOWNSHIP OF VERONA, ESSEX COUNTY, NJ	DATE: 24-08-14
JMH ASSOCIATES	DATE: APRIL 4, 2008
402-880-8000	DATE: DEC. 30, 2004
P.O. BOX 30	DATE: DEC. 30, 2004
CALDWELL, N.J. 07006	DATE: DEC. 30, 2004
JAMES M. HELB, PE, PLS, P.P.	SHEET 2 OF 8
PROFESSIONAL LAND SURVEYOR	N.J. LICENSE NO. 352
DATE: 4.4.2008	